







HALL MOOR, WICKING LANE

SOYLAND | HX6 4NR

Located in a rural location and enjoying stunning far-reaching views, this stone built DETACHED home provides spacious family accommodation with generous off-road parking, an integral double garage and beautiful south-facing gardens.

This beautifully presented home provides FOUR-bedroom family accommodation with three reception rooms, a quality kitchen, utility room, two bathrooms and a cloakroom.

The property occupies a convenient position close to the hamlet of Cottonstones, with stunning walks on the doorstep and just a short drive to Ripponden.



GROUND FLOOR

Dining Kitchen
Dining Room
Sitting Room
Snug
Study / Utility Room
Cloakroom
Double Garage

COUNCIL TAX

G

FIRST FLOOR

Bedroom 1
Bedroom 2
Bedroom 3
Bedroom 4
Family Bathroom
Shower Room

EPC RATING

G

INTERNAL NOTES

The property is entered via a porch into the entrance hall with coats cupboard, a two-piece cloakroom and door leading into the integral double garage.

The beautiful sitting room features an open stone fireplace and enjoys superb views to two elevations with French doors giving access to the garden. A door from the sitting room gives access to the dining hall with staircase to first floor and external door to garden. The snug is accessed from the dining hall and features a fireplace with multi-fuel stove and an external door to the garden.

An archway from the snug leads into the smart modern kitchen housing painted units and equipped with a single bowl sink and Rangemaster electric stove with ceramic hob and extractor hood over, integrated appliances include a fridge and dishwasher. There are dual aspect windows and an external door to the rear garden. The utility room is accessed from the snug and is plumbed for a washer, equipped with a sink and has space for a dryer and fridge-freezer. There is a rear porch leading from the utility room giving access to the garden.

There are four double bedrooms on the first floor, with bedroom 1 boasting an extensive range of fitted wardrobes and bedroom 3 having built-in storage. There is a generous family bathroom housing a four-piece suite comprising bath with shower over and glass screen, pedestal wash basin, WC and bidet, and benefitting from a large airing cupboard. The first-floor accommodation is completed with a three-piece shower room housing a shower, WC and pedestal wash basin.

EXTERNAL

The property stands in a garden plot with a long drive leading to generous parking in front of the double garage. There is a large, level lawn garden to the front and side of the property bordered by drystone walls and hedges and planted with mature shrubs and trees, the garden to the rear of the property abuts open fields and breath-taking views can be enjoyed from the whole plot.

LOCATION

The property is close to the villages of Mill Bank, Triangle and Ripponden. There are excellent local amenities including village schools, library, veterinary surgery, dental practice, health centre and a selection of shops, pubs and restaurants. The more extensive amenities of nearby Sowerby Bridge are within 10 minutes' drive, where there is a mainline railway station providing excellent commuter links to Bradford, Leeds and Manchester.

SERVICES

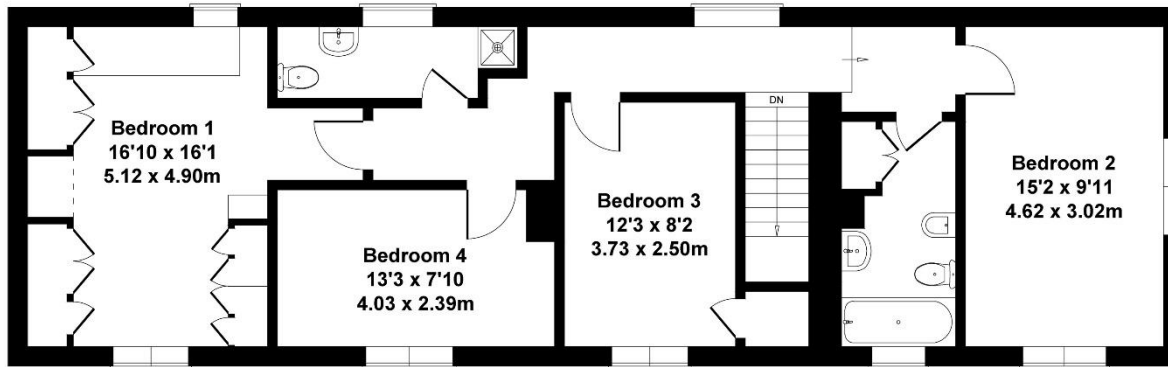
Mains electric and water, septic tank drainage, LPG gas. Boiler located in Utility Room.

DIRECTIONS

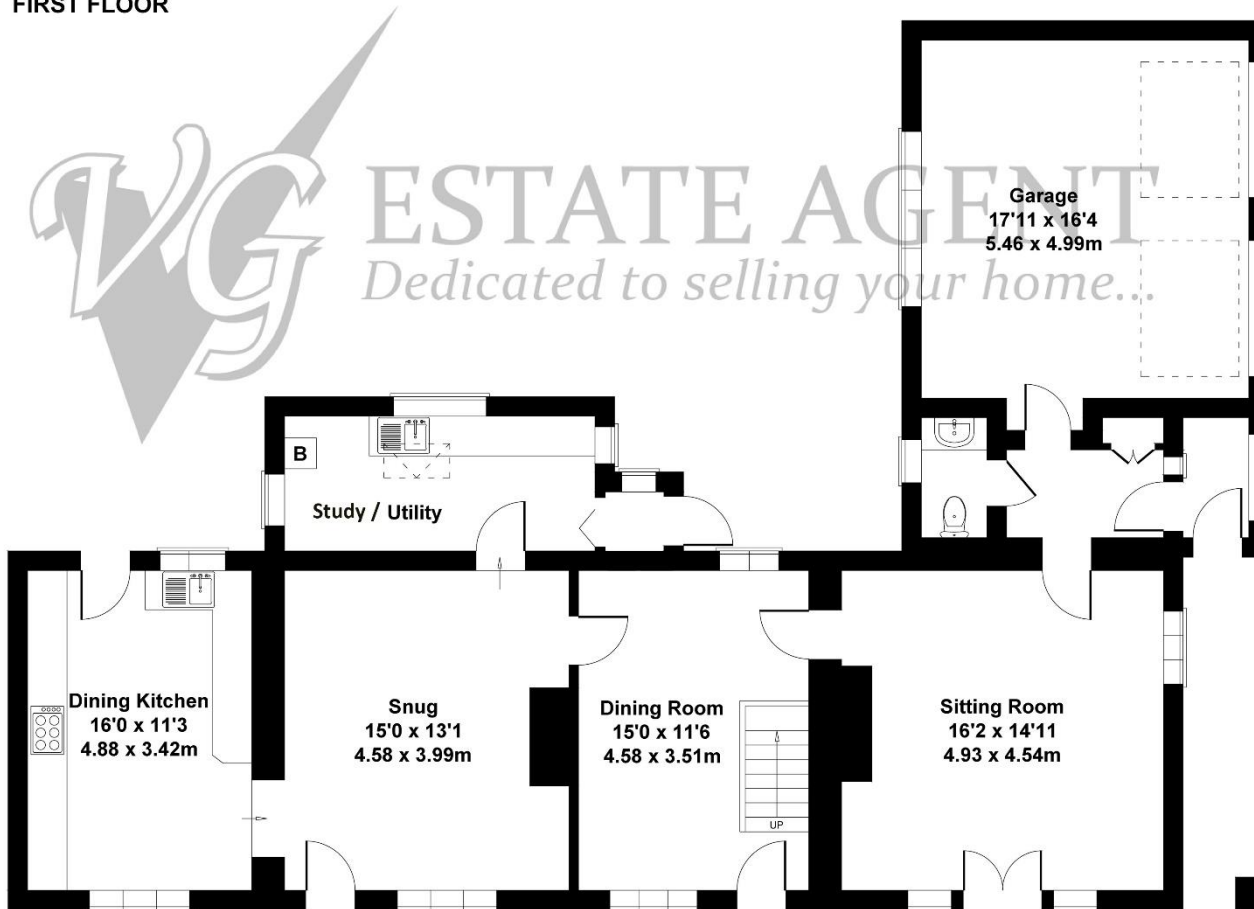
From Ripponden traffic lights proceed towards Sowerby Bridge taking the first left into Royd Lane. Turn right up Stoney Lane, through Soyland village to the Cross Wells Road scissor junction, turn right and continue into Blackshaw Clough Road then into Lighthazles Road. Turn left after Eccles Parlour, into Wicking Lane and Hall Moor is the second turn on the left.



Approximate Gross Internal Area
2379 sq ft - 221 sq m



FIRST FLOOR



GROUND FLOOR





119a Halifax Road, Ripponden HX6 4DA
Tel: 01422 822277 Mobile: 07787
521045
E-mail: ripponden@houses.vg

IMPORTANT NOTICE

These particulars are produced in good faith, but are intended to be a general guide only and do not constitute any part of an offer or contract. No person in the employment of VG Estate Agent has any authority to make any representation of warranty whatsoever in relation to the property. Photographs are reproduced for general information only and do not imply that any item is included for sale with the property. All measurements are approximate. Sketch plan not to scale and for identification only. The placement and size of all walls, doors, windows, staircases and fixtures are only approximate and cannot be relied upon as anything other than an illustration for guidance purposes only.

MONEY LAUNDERING REGULATIONS

In order to comply with the 'Money Laundering, Terrorist Financing and Transfer of Funds (Information on the Payer) Regulations 2017', intending purchasers will be asked to produce identification documentation and we would ask for your co-operation in order that there will be no delay in agreeing the sale.